



CITY OF EAGLE POINT

"Gateway to the Lakes"

OREGON

EAGLE POINT PLANNING COMMISSION
17 BUCHANAN AVE. SOUTH, EAGLE POINT, OREGON
REGULAR MEETING AGENDA
January 17, 2017

1. CALL TO ORDER - 7:00 p.m.
2. FLAG SALUTE.
3. ELECTION OF CHAIR AND VICE CHAIR.
4. AUDIENCE QUESTIONS/COMMENTS (Items not on the agenda).
5. PUBLIC HEARING(S).
 - 5.1 Planning Application #16-09:SPR
Tabor Avenue Triplexes
 - 5.2 Planning Application #16-12:ZOA
Electronic Message Signs
6. CONSENT CALENDAR.
 - 6.1 Presentation of Regular Meeting Minutes of October 18, 2016.
7. CONSIDERATION OF ITEMS REMOVED FROM CONSENT CALENDAR.
8. UNFINISHED BUSINESS.
9. NEW BUSINESS.
 - 9.1 Staff presentation: Recap of 2016 Planning Department activity.
10. REPORTS FROM PLANNING COMMISSION MEMBERS.
11. REPORTS FROM STAFF.
12. INFORMATION.
 - 12.1 January 2016 City of Eagle Point Newsletter.
13. ADJOURNMENT.

AGENDA AND COUNCIL PACKETS ALSO AVAILABLE ON WEBSITE

www.cityofeaglepoint.org

If a physical accommodation is needed to participate in this meeting, please contact the City Recorder at 541-826-4212 ext. 106 or TTY/TDD 711 or 800-735-2900. Notification of at least 48 hours prior to the meeting will assist the City in providing reasonable accommodations. (28 CFR 35.102-35.104 ADA Title II).

**BUSINESS OF THE PLANNING COMMISSION
EAGLE POINT, OREGON**

AGENDA STATEMENT

Item Number: 5.1

Meeting Date: January 17, 2017

ITEM TITLE: Planning Action #16-09:SPR (Tabor Avenue Triplexes). Request for approval to replace the existing home at 119 Tabor Avenue with two triplexes (6 residential units total), with surface parking and a landscaped area at the front/street side of the property in the R-3 Multi-Family Medium Density residential zoning district.

Applicant/Agent: Michael Bull, Bull Engineering LLC
Owner: Jason Rowan, Row Van Investments LLC
Submitted By: Mike Upston, Planning Director (541) 826-4212, ext 111

I. BACKGROUND & PROPERTY OVERVIEW

The proposed development consists of removing the existing home located on the property and constructing two triplexes and a small parking area. See Attachment A for a location map, aerial photo and street views, and Attachment B for project drawings. The triplexes will be two stories tall and each have a footprint of approximately 66 feet x 36 feet. Each dwelling unit will have a living area of approximately 1,260 square feet and a single car garage, as depicted on the attached building elevations and floor plans. The proposal includes saving the existing mature trees on the property, as noted on the site plan.

II. LAND USE APPROVAL REQUIREMENTS

The decision-making process for Site Plan & Landscape Review is established in Eagle Point Municipal Code (EPMC), Chapter 17.60, and this application type involves a quasi-judicial, discretionary decision by the Planning Commission, which does not advance to the City Council unless appealed.

III. STANDARDS AND BASIC REQUIREMENTS FOR SITE PLAN AND LANDSCAPE APPROVAL

EPMC 17.60 establishes the Site Plan and Landscape Approval process applicable to new development. The purpose is to promote the orderly and harmonious development of the City, and to stabilize land values and improve the community economy. An additional purpose is to help prevent impairment or depreciation of land or building values by creating structures, additions, or alterations which have inadequate attention to site planning or landscaping as it affects adjacent property, community goals and adopted plans.

A. Standards

EPMC Subsection 17.60.040.E.1-5 provides the standards which must be met for Site Plan and landscape Approval. These are listed and discussed below.

1. That the site plan conforms with the general plans and ordinances of the City in terms of location and general development standards and all provisions of this title. EPMC 17.60.040.E.1

FINDING: The site plan conforms to all relevant Comprehensive Plan goals and policies, as well as all applicable development standards and provisions of the City's zoning regulations as conditioned with this approval.

2. That the site plan adequately provides for pedestrian safety and general welfare of facility users. EPMC 17.60.040.E.2

FINDING: Property redevelopment will include a new driveway, widened street, public sidewalk and walkways to the new homes.

3. That the project will satisfactorily take care of the traffic it generates by means of adequate off-street parking, access points and additional street right-of-way improvements. EPMC 17.60.040.E.3

FINDING: The project complies with the City's parking requirements as proposed. Each dwelling unit will have three off-street parking spaces available to it - one space in the garage, one space in front of the garage and six extra spaces (1/unit) in the parking area. This meets the requirements set forth in EPMC 17.72.

4. That the project will be compatible with adjacent developments and will not adversely affect the land uses or character of the area. EPMC 17.60.040.E.4

FINDING: Surrounding land uses located to the north, west, and east are all of similar zoning (R-3). The property to the south is zoned R-1-8, and is the site of Hillside Elementary School. Therefore, the proposed development will be compatible with its surroundings and not affect neighboring land uses or area character.

5. That the project will take into consideration natural hazards found to exist on or adjacent to the site proposed for development. EPMC 17.60.040.E.5

FINDING: There are no known natural hazards on or adjacent to the site.

B. Basic Requirements

EPMC Subsection 17.60.050. A – F establishes the basic requirements for all new developments or alterations of existing development. These are discussed below.

1. Landscaping and Screening. EPMC 17.60.050.A

Finding: While the Site Plan does show existing trees to be retained and lawn within all of the areas around the buildings and paving, a recommended condition of approval is included in Section VII of this report that landscaping plans be included in the plan set submitted for a building permit, to include at least an irrigation plan and a planting plan with new trees, shrubs, groundcovers and any other features to provide transitions between the buildings and ground-plane, and to provide for an attractive appearance from within the property as well as from the public street and surrounding properties.

2. Street Frontage Improvements. EPMC 17.60.050.B

Finding: As also specified in subsection III.A.2 above, property redevelopment will include a new driveway, widened street, and a new public sidewalk.

3. Street Access. EPMC 17.60.050.C

Finding: Vehicular and pedestrian access from Tabor Avenue will be provided by a new two-lane driveway and public sidewalk, and private walkways.

4. Solar Access, Light, Air and Shade. EPMC 17.60.050.D

Finding: Since a large portion of this property will not have buildings on it, access to sun, light and fresh air will not be an issue. In addition, the building setbacks from the southern and western property lines will minimize shadowing on neighboring properties and buildings.

5. Engineering. EPMC 17.60.050.E

Finding: Engineering drawings for grading, storm drainage, sewer, water, streets, parking areas and lighting are expected to be provided as part of the plan set submitted for a building permit. In addition, recommended conditions of approval are included in Section VII of this report to address specific engineering items associated with this project.


6. Storage and Trash. EPMC 17.60.050.F

Finding: Given that the proposal does not specify how storage and trash facilities will be provided, a recommended condition of approval is included in Section VII of this report that such facilities be detailed in the plans submitted for a building permit, and that they be compliant with EPZO 17.60.050.F, as well as meet the satisfaction of the Planning Director as to location, design and operation.

IV. CONCLUSIONS

1. The application was declared complete.
2. The proposal is consistent with the Comprehensive Plan.
3. As conditioned, the proposal complies with the Zoning Ordinance.
4. All legal notifications have been satisfied with respect to the application.
5. Concerns expressed by affected agencies have been mitigated.

APPROVED FOR SUBMITTAL:

 1/10/17

Henry Lawrence, City Administrator

V. STAFF RECOMMENDATION

Staff recommends that the Planning Commission adopt the Findings and approve the application for Site Plan & Landscape Review with the recommended conditions of approval.

VI. PLANNING COMMISSION OPTIONS:

1. Adopt the Findings and approve the application for Site Plan & Landscape Review with the recommended conditions of approval; or,
2. Adopt the Findings and approve the application with revisions; or,
3. Deny the application; or,
4. Postpone action to a time specified providing additional information is required and the applicants or their representatives agree to such postponement.

VII. RECOMMENDED CONDITIONS OF APPROVAL

Required Plans

1. Engineering Plans

Grading, drainage, and utility plan(s) shall be prepared and submitted to the City for review. The approved development shall comply with all standards as outlined in the Eagle Point Standard Details.

2. Landscaping Plans

Landscaping plans shall be included in the plan set submitted for a building permit, to include at least an irrigation plan and a planting plan with new trees, shrubs, groundcovers and any other features to provide transitions between the buildings and ground-plane, and to provide for an attractive appearance from within the property as well as from the public street and surrounding properties.

3. As-Built Plans

Accurate as-built plans of all public improvements, certified by the developer's project engineer, shall be provided to the City in the following formats prior to building occupancy: one 24x36 bond copy, a digital copy (PDF), and a compact disc, containing pdf and Cadd files of the plans

Demolition

4. Abandonment of Existing Facilities

Prior to commencement of building construction, any onsite wells, septic tanks, or other similar items shall be abandoned per applicable codes and regulations.

Building Construction

5. Oregon Structural Specialty Code

Plans submitted for a building permit shall provide for code compliance with the current Oregon Structural Specialty Code, as required for structures other than Low-Rise Residential.

6. Fire Sprinklers

Plans submitted for a building permit shall include an automatic fire sprinkler system as required for R-2 occupancies by Oregon Structural Specialty Code, Section 903.2.8.

Street & Driveway

7. Street Requirements

Sidewalk, curb and gutter, and street frontage widening shall be constructed to facilitate a Local Street – Class "A". Sidewalk is to be 6 feet in width. The pavement section shall be designed for a minimum 20-year life. The fire truck turnaround is to be completed in accordance to Fire District #3 requirements. All new utilities shall be underground. In lieu of street lights, minimum safety lighting is to be included onsite near the street.

8. Driveway: No Parking/Fire Lane Signs

No Parking/Fire Lane signs shall be placed alongside the driveway as required per Oregon Fire Code, 2014 Edition, Appendix D, Fire Apparatus Access Roads - D103.6.1 Signs.

Water System

9. Water System Requirements

A water system to serve the project shall be designed and constructed in accordance with the Oregon State Health Division, the Oregon Plumbing Specialty Code, and City requirements. Units that are to remain under common ownership can be served by one service. Each individually owned unit is to be served by its own separate water service. A minimum of 40 PSI static water pressure shall be available at each water meter, and 30 PSI at the highest floor elevation. An 8" water main is located in Tabor Avenue to serve the development. Please

contact the City with the designed flow to order water meter(s) prior to construction. Any required fire hydrant are to be located per the requirements of Fire District #3 and the City.

Sanitary Sewer System

10. Sewer System Requirements

The sanitary sewer system necessary to serve the project shall be designed and constructed in accordance to RVSS, DEQ, and the Oregon Plumbing Specialty Code. The sewer plans shall be approved by RVSS prior to final approval by the City for construction.

Storm Drainage System

11. Profile/Elevation Drawings

The final plans are to include the profile of the curb and gutter, or finish grade elevations.

12. On-Site Detention

Storm detention shall be provided onsite, based upon a 10-year storm event, comparing the pre and post development runoff. Discharge of storm drainage across private properties shall require approved storm drainage easements. Storm drainage detention design and calculations will be reviewed as part of the civil engineering plan review process prior to construction.

13. Erosion Control

All projects shall incorporate erosion control measures into the project plans and construction, regardless of the project size. Such measures shall be per DEQ standards, reviewed and approved by the City prior to building permit approval.

Storage & Trash Facilities

14. Storage and Trash Facilities

These shall be detailed within the plans submitted for a building permit, and be compliant with EPMC 17.60.050.F, as well as meet the satisfaction of the City Planning Director and garbage collection company as to location, design and operation.

Agreements/Bonding

15. Warranty Bond

Prior to final inspection approval and occupancy, developer shall provide performance and/or warranty bonding for all public improvements in the amount approved by the City for a period of 12 months from the final approval.

ATTACHMENTS:

A: Location Map, Aerial View and Street View

B: Project Drawings

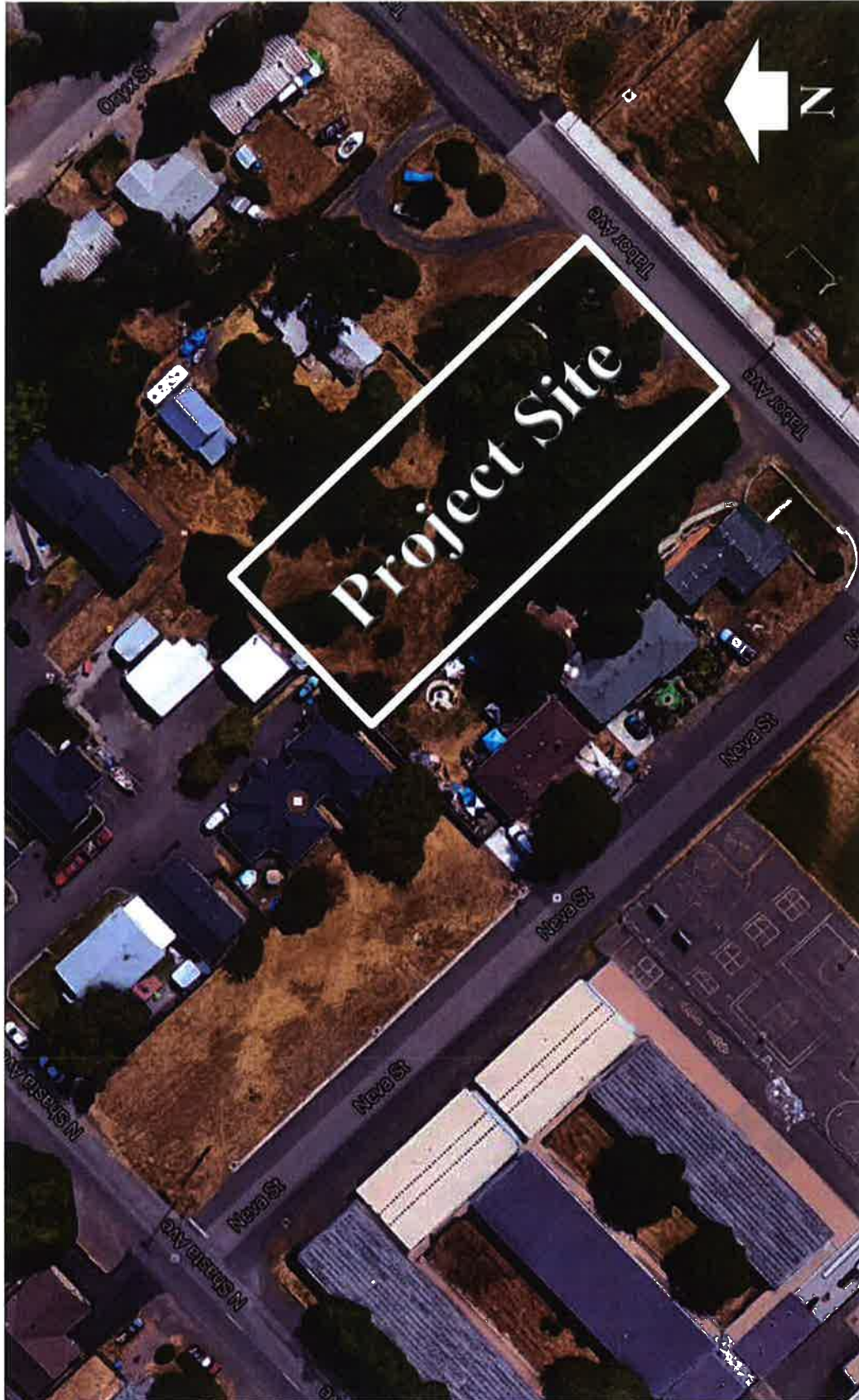
ATTACHMENT A

Location Map, Aerial View and Street View

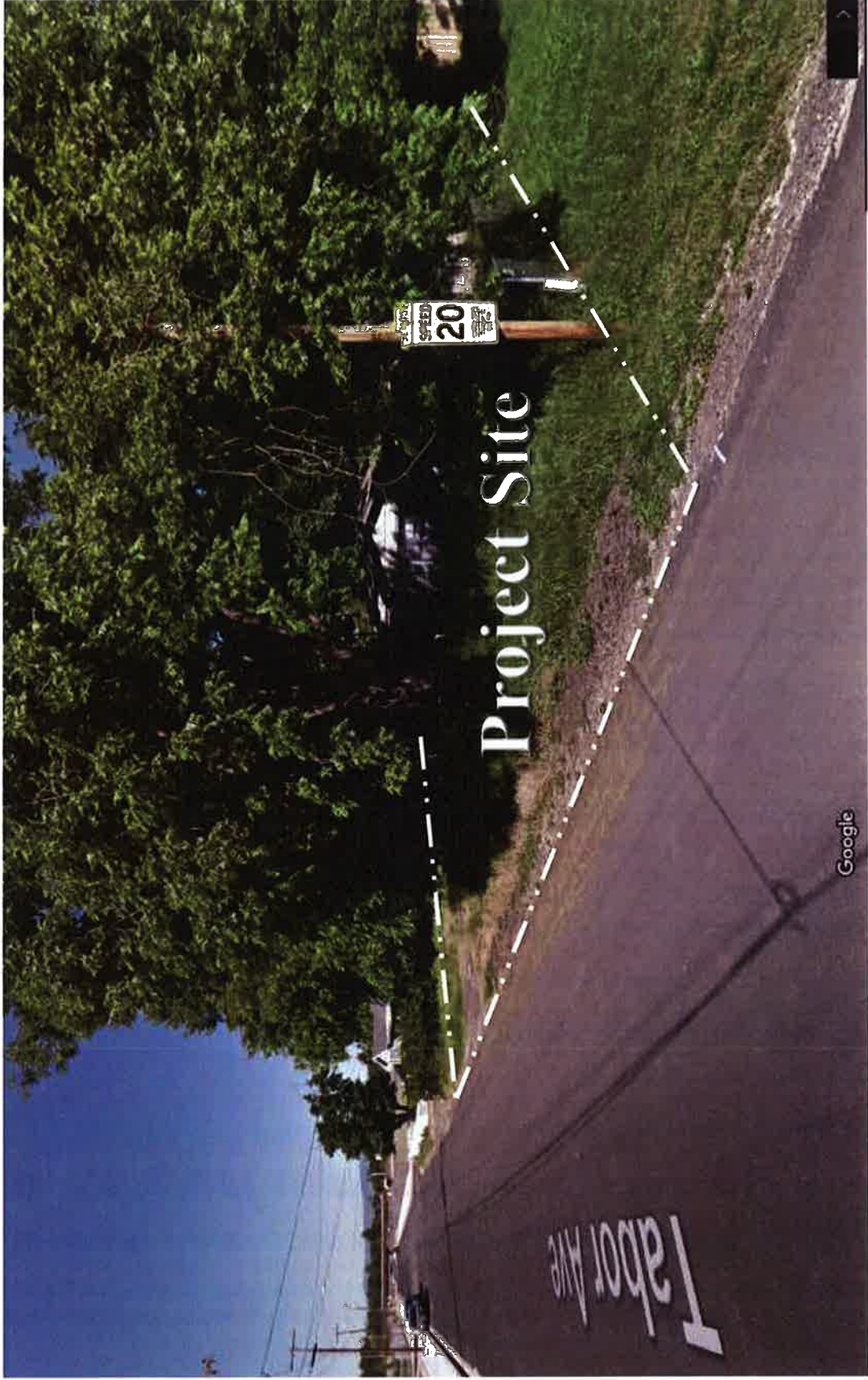
Location Map



Aerial View

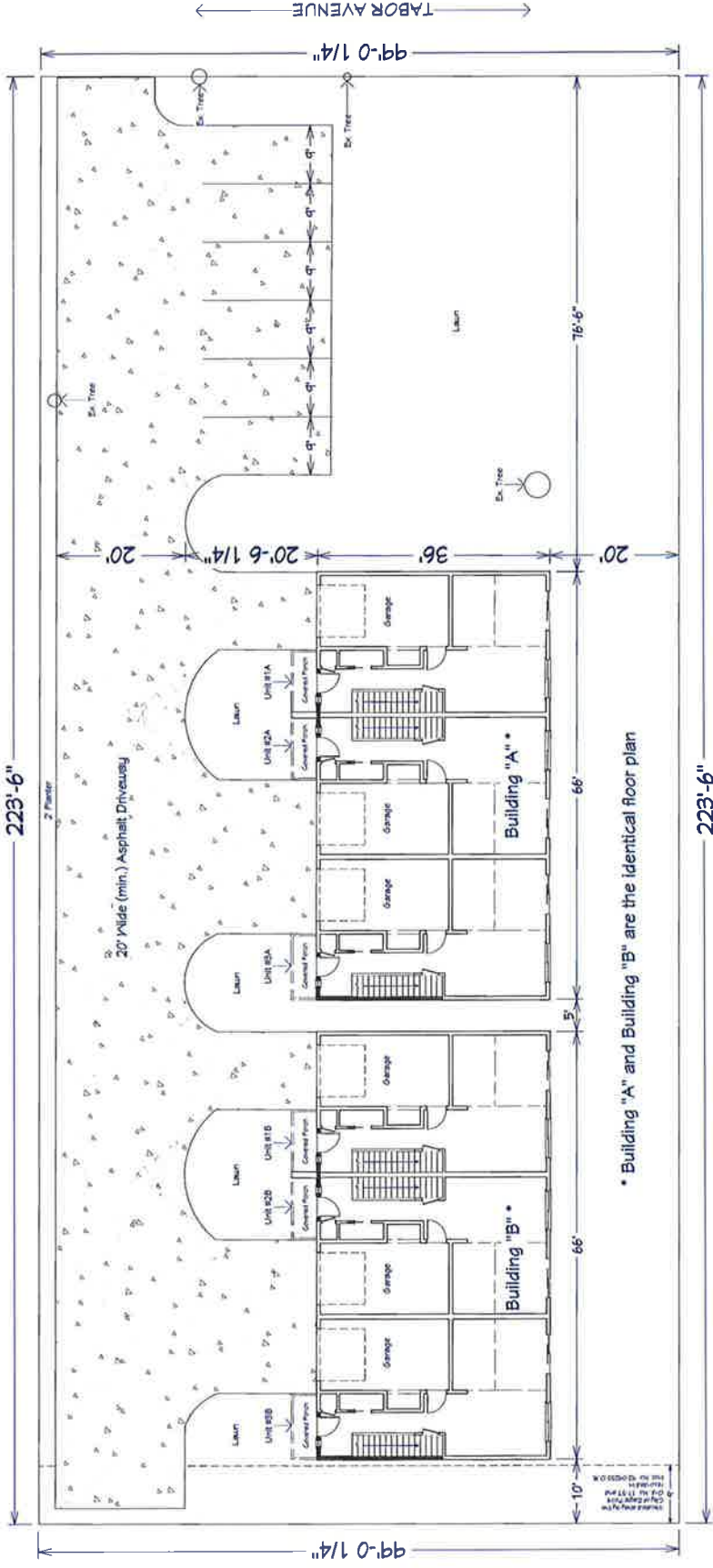


Street View



ATTACHMENT B

Project Drawings



* Building "A" and Building "B" are the identical floor plan

Lot Size = 22,131 sq ft

1st Floor Living Square Footage = 1,627 (542 per unit)

2nd Floor Living Square Footage = 2,154 (718 per unit)

Total Living Square Footage = 3,781 (1,260 per unit)

Garage Square Footage = 749 (250 per unit)

Covered Porch Square Footage = 121 (40 per unit)

Scale: 1/8" = 1'



*Follow all applicable codes and regulations

Architectural Drawings By:	Brian Magel ENGINEERING License # 1177 State of Oregon P.O. Box 1010 Eagle Point, OR 97524 C.C.B. #149035 541-941-1919
Owner:	Row Van Investments, LLC 572 Waverly Way Eagle Point, OR 97524 email: van.rou@hotmail.com
Project Location:	119 Tabor Ave. Eagle Point, OR 97524
DATE:	7/18/2016
SHEET:	A1
Site Plan	

119 Tabor Ave.
Eagle Point, OR
97524

Row Van Investments, LLC
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Eagle Point, OR 97524
Jason Rowan 541-530-4119
email: van.row@hotmail.com
Derrick Van Sickle 541-840-2362

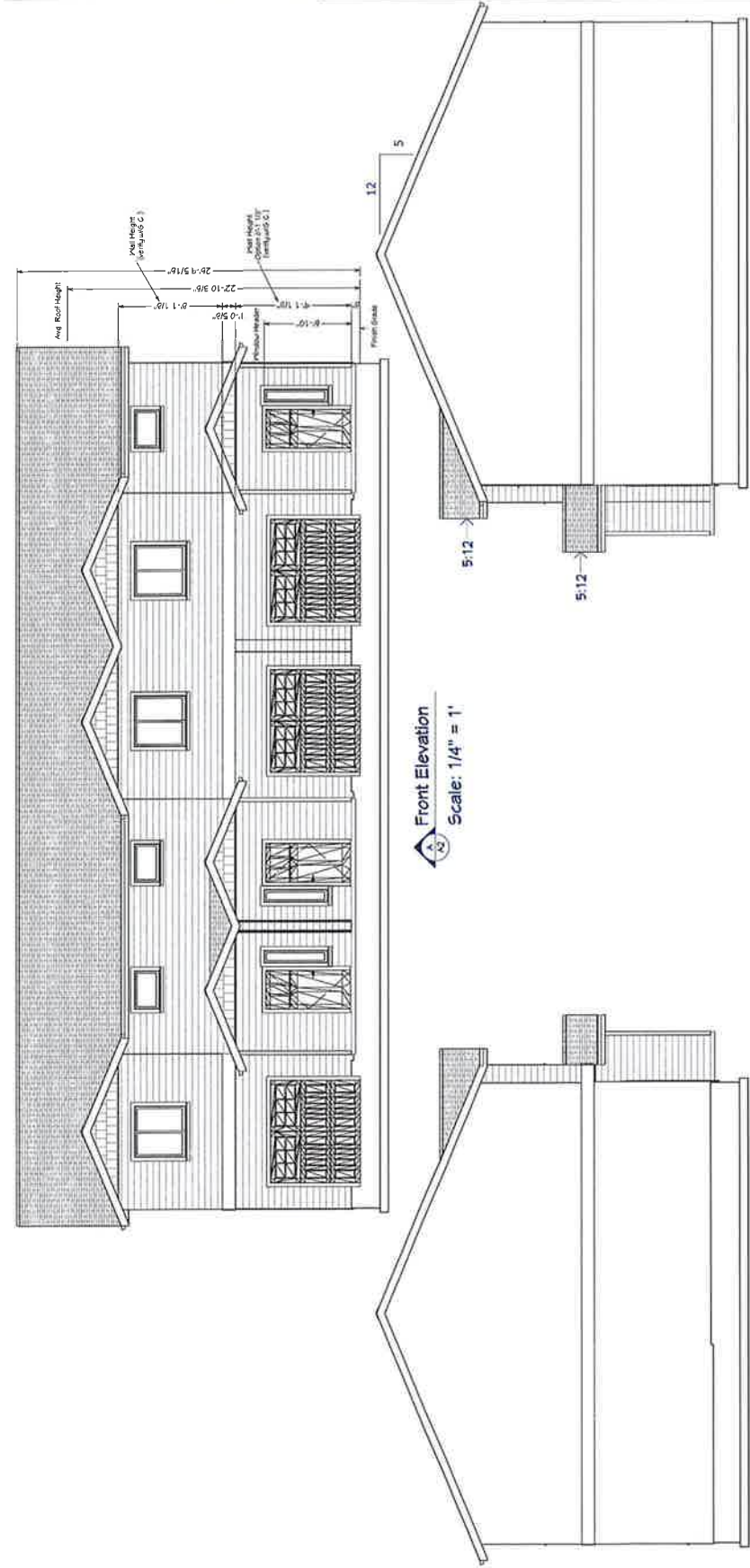
Architectural Drawings By:



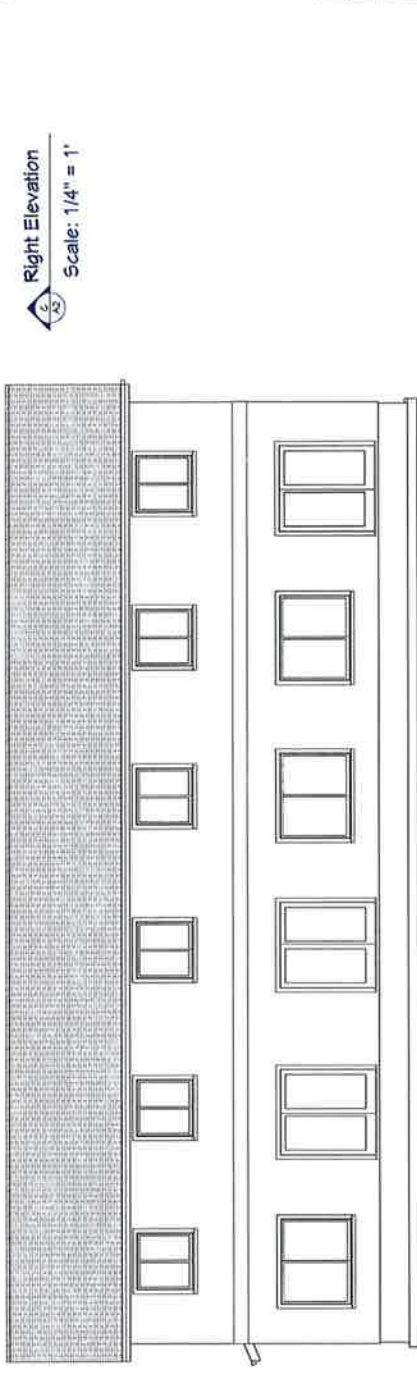
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DATE: 7/18/2016

SHEET: A2
Elevations



Front Elevation
Scale: 1/4" = 1'



Right Elevation
Scale: 1/4" = 1'

Left Elevation
Scale: 1/4" = 1'

Rear Elevation
Scale: 1/4" = 1'

*Follow all applicable codes and regulations.

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 119 Tabor Ave.
 Eagle Point, OR
 97524

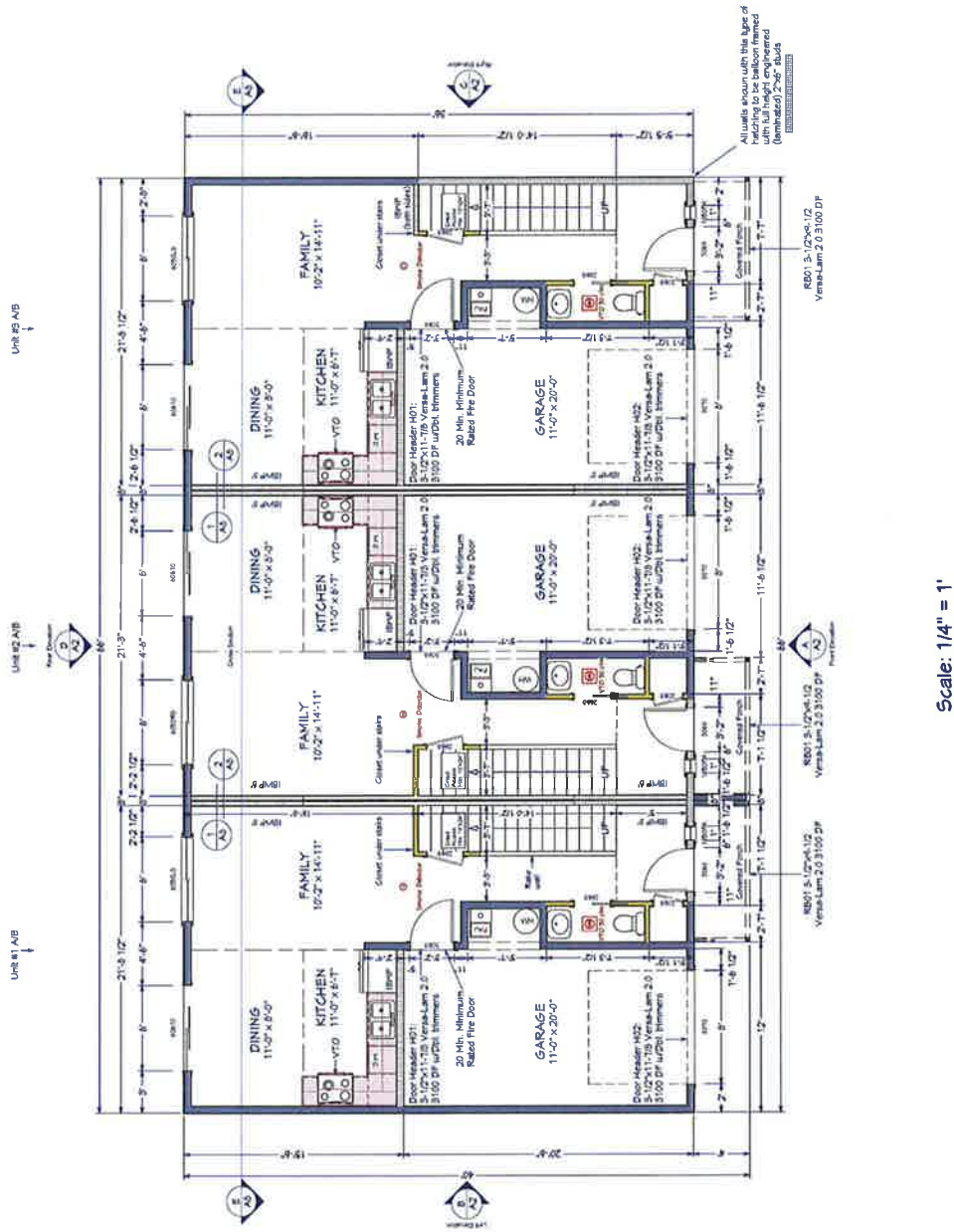
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 97524

DATE:
 7/18/2016

SHEET:
 A3

1st Floor Plan



Scale: 1/4" = 1'

Dimension Note:
 Room sizes shown beneath room label take into account 1/2" allowance on both sides of the room and are rounded to the nearest inch. All other dimensions are exact and for the rough framing.

*Follow all applicable codes and regulations.

Project Location:
 119 Tabor Ave.
 Eagle Point, OR
 97524

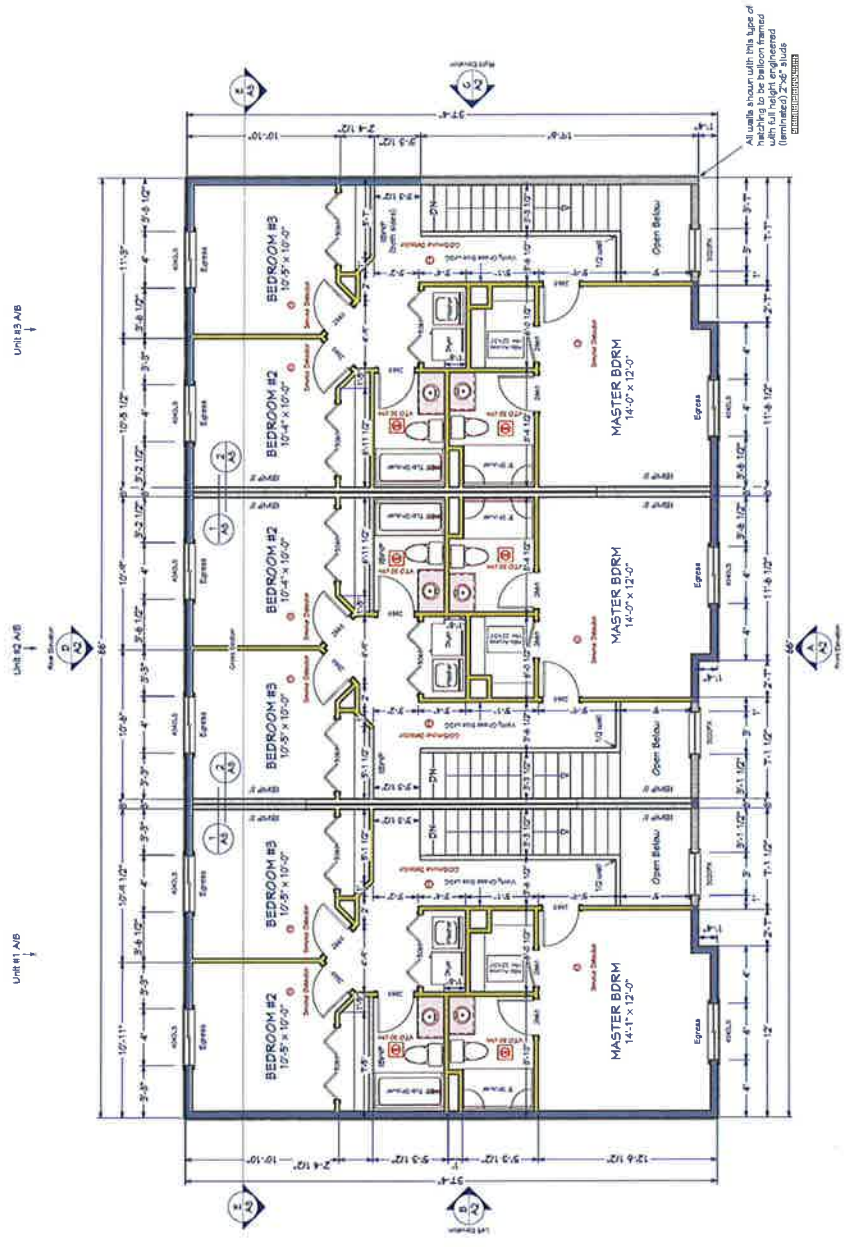
Owner:
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 P.O. Box 1019

DATE:
 7/18/2016

SHEET:
 A4

2nd Floor Plan



Scale: 1/4" = 1'

Dimension Note:
 Room sizes shown here with room lines are approximate. All room sizes and the rooming are rounded to the nearest inch, all other dimensions are exact and to the rough framing.

*Follow all applicable codes and regulations.