



# CITY OF EAGLE POINT

*"Gateway to the Lakes"*

OREGON

**EAGLE POINT PLANNING COMMISSION**  
17 BUCHANAN AVE. SOUTH, EAGLE POINT, OREGON  
**REGULAR MEETING AGENDA**  
August 15, 2017

1. CALL TO ORDER - 7:00 p.m.
2. FLAG SALUTE.
3. AUDIENCE QUESTIONS/COMMENTS (Items not on the agenda).
4. PUBLIC HEARING(S).
  - 4.1 Planning Application #17-06:SPR  
Windermere Real Estate
5. CONSENT CALENDAR.
  - 5.1 Presentation of Regular Meeting Minutes of May 16, 2017.
6. CONSIDERATION OF ITEMS REMOVED FROM CONSENT CALENDAR.
7. UNFINISHED BUSINESS.
8. NEW BUSINESS.
9. REPORTS FROM PLANNING COMMISSION MEMBERS.
10. REPORTS FROM STAFF.
11. ADJOURNMENT.

*AGENDA AND COMMISSION PACKETS ALSO AVAILABLE ON WEBSITE*

*If a physical accommodation is needed to participate in this meeting, please contact the City Recorder at 541-826-4212 ext. 106 or TTY/TDD 711 or 800-735-2900. Notification of at least 48 hours prior to the meeting will assist the City in providing reasonable accommodations. (28 CFR 35.102-35.104 ADA Title II).*

[www.cityofeaglepoint.org](http://www.cityofeaglepoint.org)

**BUSINESS OF THE PLANNING COMMISSION  
EAGLE POINT, OREGON**

**AGENDA STATEMENT**

**Item Number:** 4.1

**Meeting Date:** August 15, 2017

**ITEM TITLE:** Planning Action #17-06:SPR (Windermere Real Estate). Request for approval to establish a commercial office building at 10822 Old Hwy 62, in the C-1 Retail Commercial zoning district.

Applicant/Agent: Samuel Uccello, S&B James Construction  
Owner: John & Marilyn Zupan  
Submitted By: Mike Upston, Planning Director (541) 826-4212, ext 111

**I. BACKGROUND & PROPERTY OVERVIEW**

The applicant is proposing a commercial office building on this 0.29 acre vacant lot, as shown on the attached project drawings. This is a permitted use in the C-1 Retail Commercial zoning district. Nearby land uses include a one story medical office building to the immediate north, a mobile home park across the street to the east on residential zoned property, a vacant commercial lot to the immediate south, and Highway 62 to the immediate west.

As the project drawings show, the proposed 2,124 square foot, single story office building includes a covered entry, lobby, business offices, parking and landscaping with a bio-swale to contain storm water surface run-off. See the attached Location Map, Aerial View & Street View showing the project site and how the immediate area surrounding it appears today, and the project drawings which illustrate the project at full build-out.

**II. LAND USE APPROVAL REQUIREMENTS**

The decision process for Site Plan & Landscape Approvals is established in Eagle Point Municipal Code, Chapter 17.60. This is a Type A quasi-judicial, discretionary decision by the Planning Commission which does not advance to the City Council unless appealed.

**III. STANDARDS AND BASIC REQUIREMENTS FOR SITE PLAN AND LANDSCAPE APPROVAL**

EPMC 17.60 establishes the Site Plan and Landscape Approval process applicable to new development. The purpose is to promote the orderly and harmonious development of the City, and to stabilize land values and improve the community economy. An additional purpose is to help prevent impairment or depreciation of land or building values by creating structures, additions, or alterations which have inadequate attention to site planning or landscaping as it affects adjacent property, community goals and adopted plans.

## A. Standards

EPMC Subsection 17.60.040.E.1-5 provides the standards which must be met for Site Plan and landscape Approval. These are listed and discussed below.

1. The site plan conforms with the general plans and ordinances of the City in terms of location and general development standards and all provisions of this title. EPMC 17.60.040.E.1

**FINDING:** The site plan conforms to all relevant Comprehensive Plan goals and policies, as well as all applicable development standards and provisions of the City's zoning regulations as conditioned with this approval. Following are the most pertinent development standards contained in the zoning regulations of the Eagle Point Municipal Code (EPMC):

**Yard Requirements, EPMC 17.28.040:** There is no minimum building setback from the property line in the Retail Commercial zoning district. Still, the proposed building is set back 10 feet from the south property line, 9 feet from the west property line, 71 feet from the north property line and 23 feet from the east property line. The parking lot is set back from the north property line by 5 feet in accordance with sub-section D.3.

**Building Height, EPMC 17.28.050:** No building height limitation is specified in the C-1 zoning district, except when a proposed building is within 100 feet of a residential zone. The residential zone to the east is zoned R-2, with a maximum building height of 30 feet. The proposed commercial office building is shown as just over 18 feet tall on the project drawings.

**Lot Size, EPMC 17.30.060:** The lot size is 12,632 square feet, which meets the minimum of 6,000 square feet.

**Parking Requirements, EPMC 17.72.050:** 1 parking space is required for every 400 gross square feet of building floor area. Calculation: 2,124 square foot floor area divided by 400 = 5.31. Therefore, a minimum of 6 parking spaces are required. 17 spaces are provided.

**Fence and Walls, EPMC 17.28.080:** The 6 foot tall wood fence shielding the trash storage area is not within the setback and therefore meets this section of the zoning regulations.

2. The site plan adequately provides for pedestrian safety and general welfare of facility users. EPMC 17.60.040.E.2

**FINDING:** Outside spaces accessible to vehicle drivers and pedestrians have been designed to provide ample space for navigation and sight lines.

3. The project will satisfactorily take care of the traffic it generates by means of adequate off-street parking, access points and additional street right-of-way improvements. EPMC 17.60.040.E.3

**FINDING:** A new driveway, ample parking and all required roadway frontage improvements will be provided.

4. The project will be compatible with adjacent developments and will not adversely affect the land uses or character of the area. EPMC 17.60.040.E.4

**FINDING:** The real estate office will be compatible with the existing adjacent medical office and will not adversely affect the other nearby land uses or character of the area. Further, the

Commercial zoning on the land between Highway 62 and Old Highway 62 is expected to result in more commercial development as Eagle Point's population grows and demand for more services increases. Therefore, within the longer term land use horizon, the proposed development will be compatible with its surroundings and not adversely affect its neighbors.

5. The project will take into consideration natural hazards found to exist on or adjacent to the site proposed for development. EPMC 17.60.040.E.5

**FINDING:** There are no known natural hazards on or adjacent to the site.

## **B. Basic Requirements**

EPMC Subsection 17.60.050. A – F establishes the basic requirements for all new developments or alterations of existing development. These are discussed below.

1. Landscaping and Screening. EPMC 17.60.050.A

**Finding:** The proposed landscaping as shown in the project plans satisfies the City's requirements for new development. Still, recommended conditions of approval are included in Section VII of this report that landscaping plans be included in the plan set submitted for a building permit, that the trees along Old Highway 62 be placed close enough to the sidewalk to avoid future removal when the City expands the roadway, and that a maintenance agreement with the City be provided for the landscape proposed within the Old Hwy 62 right of way.

2. Street Frontage Improvements. EPMC 17.60.050.B

**Finding:** As also specified in subsection III.A.3 above, a new driveway and all required roadway frontage improvements will be provided.

3. Street Access. EPMC 17.60.050.C

**Finding:** Vehicular and pedestrian access from Old Highway 62 will be provided by a new driveway. However, the driveway design and dimension is not specified, nor are the public sidewalk and private walkways. Therefore, a recommended condition of approval is included in Section VII of this report that civil engineering drawings be provided and include the design details for the new driveway, public sidewalk and private walkways per City standards.

4. Solar Access, Light, Air and Shade. EPMC 17.60.050.D

**Finding:** The low building will not block solar access from adjacent properties and buildings. Further, the open layout of the site plan accommodates adequate light and air within the grounds.

5. Engineering. EPMC 17.60.050.E

**Finding:** Engineering drawings for grading, storm drainage, sewer, water, streets, parking areas and lighting are expected to be provided as part of the plan set submitted for a building permit. In addition, recommended conditions of approval are included in Section VII of this report to address specific engineering items associated with this project.

6. Storage and Trash. EPMC 17.60.050.F

**Finding:** The proposed enclosure between the east side of the building and landscaped Old Hwy 62 street frontage meets the storage and trash requirements.

#### IV. CONCLUSIONS

1. The application was declared complete.
2. The proposal is consistent with the Comprehensive Plan.
3. As conditioned, the proposal complies with the Zoning Ordinance.
4. All legal notifications have been satisfied with respect to the application.
5. Concerns expressed by affected agencies have been mitigated.

APPROVED FOR SUBMITTAL:  7/31/17  
Henry Lawrence, City Administrator

#### V. STAFF RECOMMENDATION

Staff recommends that the Planning Commission adopt the Findings and approve the application for Site Plan & Landscape Review with the recommended conditions of approval.

#### VI. PLANNING COMMISSION OPTIONS:

1. Adopt the Findings and approve the application for Site Plan & Landscape Review with the recommended conditions of approval; or,
2. Adopt the Findings and approve the application with revisions; or,
3. Deny the application; or,
4. Postpone action to a time specified providing additional information is required and the applicants or their representatives agree to such postponement.

#### VII. RECOMMENDED CONDITIONS OF APPROVAL

##### Required Plans

##### **1. Civil Engineering Plans**

Engineered grading, drainage, and utility plan(s) shall be prepared and submitted to the City for review and approval by the Public Works Director/City Engineer. The approved development shall comply with all standards as outlined in the Eagle Point Standard Details.

##### **2. Landscaping Plans**

Landscaping plans shall be submitted with the plans submitted for a building permit, and include at least an irrigation plan and a planting plan with new trees, shrubs, groundcovers and any other features to provide transitions between the buildings and ground-plane, and to provide for an attractive appearance from within the property as well as from the public street and surrounding

properties. Further, the trees shall be located close to the asphalt path to reduce the impacts of future road expansion.

### **3. As-Built Engineering Plans**

At the conclusion of construction, accurate as-built plans of all public improvements, certified by the developer's engineer, shall be provided to the City prior to building occupancy in the following format: one 24"x 36" bond copies, PDF, and a compact disc containing Autocad files of the plans.

### **Demolition**

#### **4. Abandonment of Existing Facilities**

Prior to commencement of site work, any onsite wells, septic tanks, or other similar items shall be abandoned per applicable codes and regulations.

### **Water System**

#### **5. Water System Requirements**

A water system to serve the project shall be designed and constructed in accordance with the Oregon State Health Division, the Oregon Plumbing Specialty Code, and City requirements. A minimum of 40 PSI static water pressure is to be provided to the development; a 6" asbestos cement water main is located in Old Highway 62 to serve the development. The City will relocate the existing meter boxes away from the proposed driveway.

### **Sanitary Sewer System**

#### **6. Sanitary Sewer System Requirements**

The sanitary sewer system necessary to serve the project shall be designed and constructed in accordance to Rogue Valley Sewer Services, Department of Environmental Quality, and the Oregon Plumbing Specialty Code. The sewer plans shall be approved by RVSS prior to final approval by the City for construction.

### **Storm Drainage System**

#### **7. 10-Year Storm Design**

Storm detention shall be provided onsite, based upon a 10-year storm event, comparing the pre and post development runoff. Storm drainage detention design and calculations will be reviewed as part of the plan approval. Discharge of storm drainage across private properties shall require approved storm drainage easements. The storm inlet adjacent to the property at the Pediatric Clinic can be connected to for overflow.

#### **8. Storm Water Quality**

All projects shall incorporate erosion control measures into the project plans and construction, regardless of the project size. Such measures shall be per DEQ standards, reviewed and approved by the City prior to building permit approval.

## **Project Development**

### **9. Frontage Road Improvements**

Frontage road improvements (sidewalk/path, curb and gutter, and street frontage widening), or payment in lieu of, are to be completed with the project. The asphalt walk is to be 6 feet in width. The pavement section shall be designed for a minimum 20-year life. The developer shall provide a 10-foot wide public utility easement along street frontage prior to building occupancy. All new utilities shall be underground. In lieu of street lights, minimum safety lighting is to be included onsite near the street.

### **10. Parking and Walkways**

The parking lot is to be designed for a 20-year pavement life. Interior walkways are to be a minimum of 5 feet.

### **11. Storage & Trash Facilities**

These shall be detailed within the plans submitted for a building permit, and be compliant with EPZO 17.60.050.F, as well as meet the satisfaction of the City Planning Director and garbage collection company as to location, design and operation.

## **Final Approval**

### **12. Warranty Bonding**

Prior to final approval, the developer shall provide performance and/or warranty bonding for all public improvements. The developer's engineer shall provide the analysis for the bonding amount: 10 percent of public improvements for the warranty bond and 120 percent for any performance bonding. The warranty bond shall be for a period of 12 months from the final approval.

### **13. Maintenance Agreement**

Prior to final approval, a maintenance agreement with the City shall be provided for the landscape proposed within the Old Hwy 62 right of way.

## **ATTACHMENTS:**

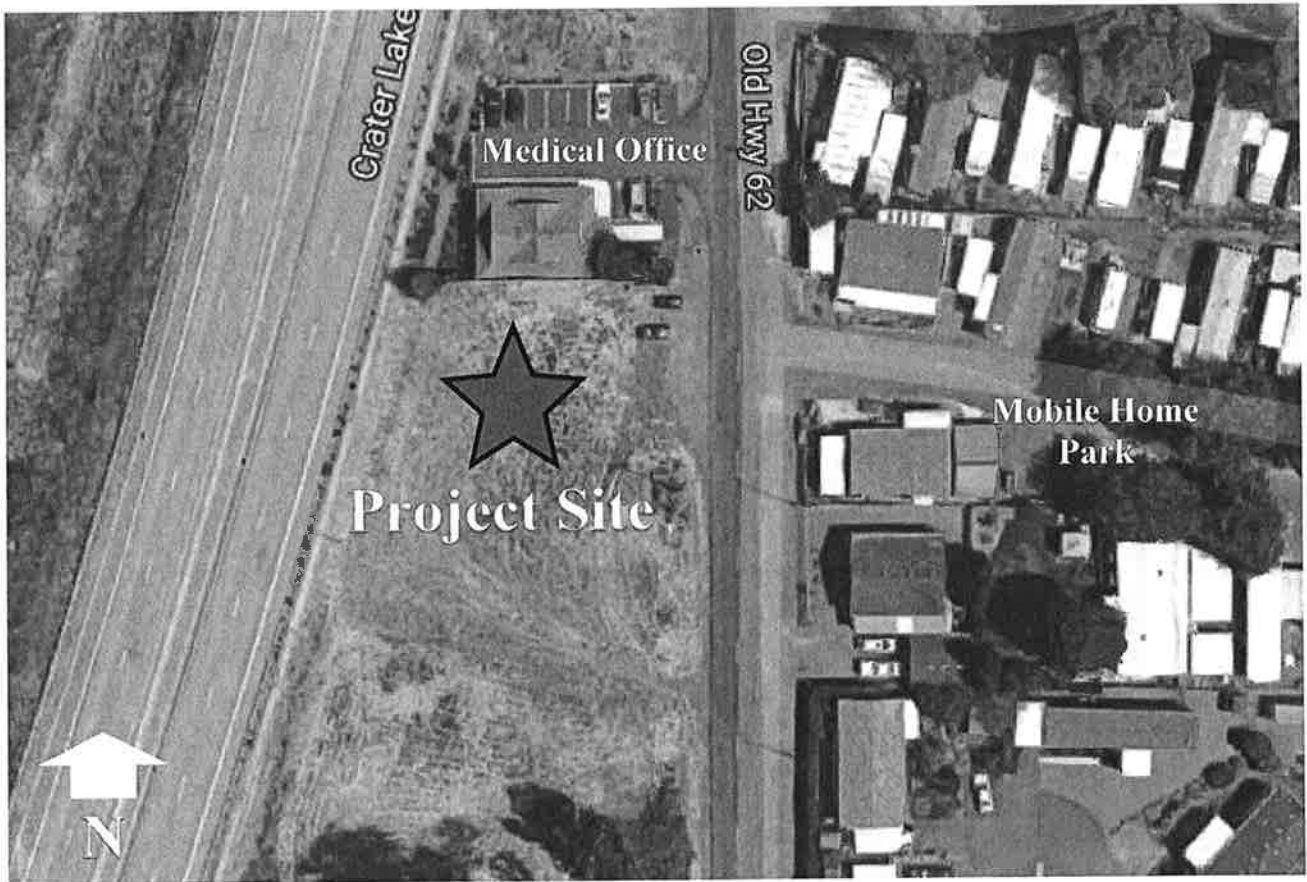
- Location Map
- Aerial & Street View
- Project Drawings

# Location Map





# Aerial View



# Street View

Looking north on Old Crater Lake Highway





# Topographic Survey

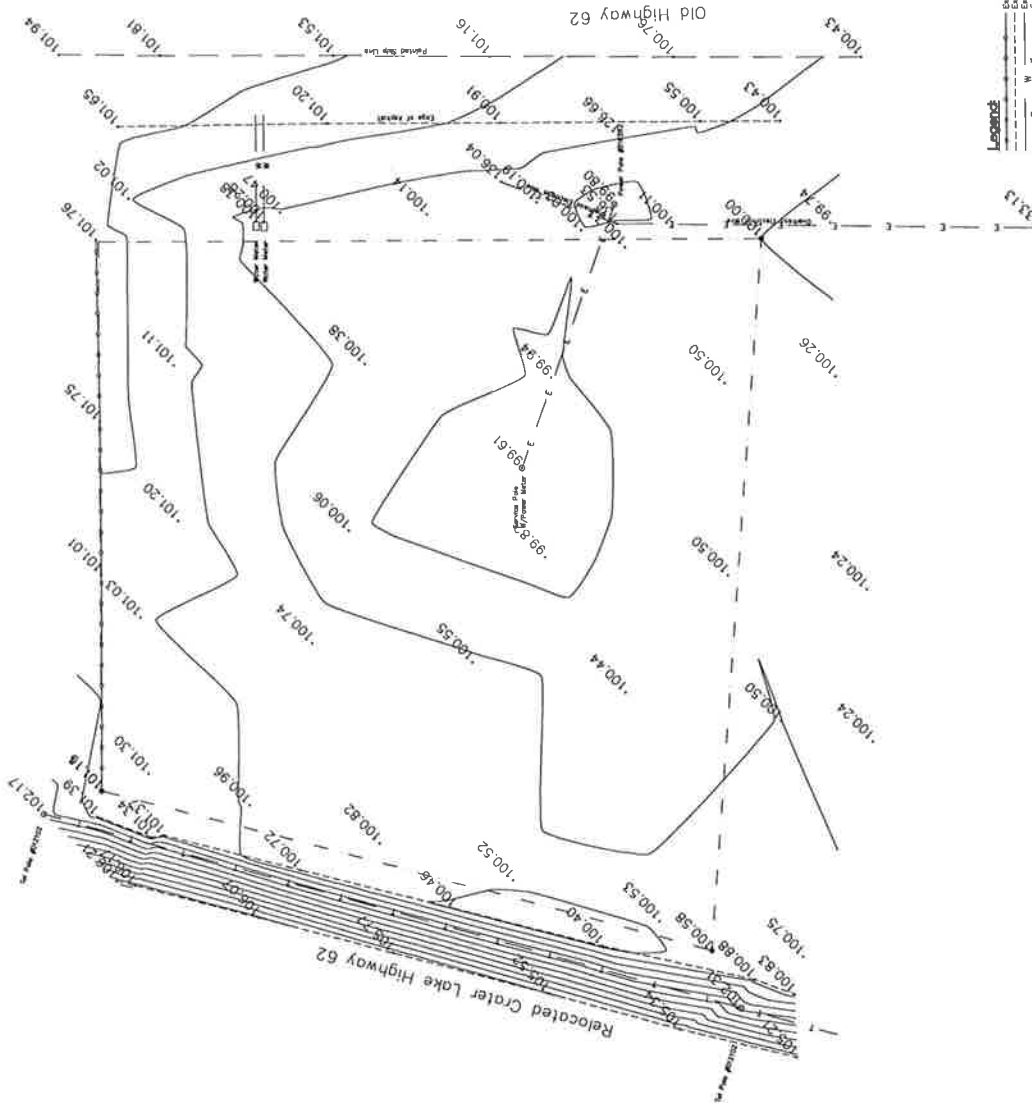
Located at  
18222 Highway 62, Eagle Point, OR 97524  
Township 36 South, Range 1 West, 6W/4 Section 03  
(36-NW-03a-Tax Lot 9400)

**Survey Dates:**  
Horizontal: Final Survey 10/78  
Vertical: NAVD83 (GPS)  
Field notes completed on Sept. 23, 2016  
Utility locations not shown on this project.  
This report is for the project listed above.  
North is defined as the following measurements identified in this report.  
Horizontal: True North  
Vertical: Geoid  
Horizontal & Vertical: Oregon State Plane North Zone 12  
Horizontal & Vertical: Oregon State Plane North Zone 12  
Horizontal & Vertical: Oregon State Plane North Zone 12

Lot lines shown are approximate and are not the result of a boundary survey.

**Surveyor:**  
Eric J. Jones  
8425 Astoria Road  
White City, OR 97503

**Surveyor:**  
Pariani Land Surveying  
P.O. Box 551  
Shady Cove, OR 97539



- Legend**
- Existing Road Features
  - Existing Edge of Asphalt
  - Utility Lines
  - Existing 60' Corner Markings
  - Existing 100' Corner Markings
  - Existing Easement Boundaries
  - Proprietary Tie Line
  - Found Survey Monument



Existing Conditions Topographic Survey  
**Pariani Land Surveying**  
P.O. Box 551  
Shady Cove, OR 97539  
541-890-1131  
www.parianilandsurveying.com  
Sept. 23, 2016



**JAMES**  
 ARCHITECTURE  
 1000 W. 10TH AVENUE  
 SUITE 100  
 DENVER, CO 80202  
 (303) 733-1111  
 www.jamesarch.com

**DAVID M. THURSTON, AIA, NCARB**  
 P.E. (ARCHITECT)  
 1000 W. 10TH AVENUE  
 SUITE 100  
 DENVER, CO 80202  
 (303) 733-1111  
 david.thurston@jamesarch.com

**PROJECT ADDRESS:**  
 1000 W. 10TH AVENUE  
 DENVER, CO 80202

**PROJECT NUMBER:**  
 1000 W. 10TH AVENUE

**DATE:**  
 10/15/2014

**SCALE:**  
 1/8" = 1'-0"

**EXHIBIT C**

**WINDEMERE REAL ESTATE**  
 ATTY. JOHN ZUPAN  
 LITTLE JACKSON STREET  
 DENVER, CO 80202  
 (303) 733-1111

NO.	DATE	DESCRIPTION
1	10/15/2014	ISSUED FOR PERMIT
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**WINDEMERE REAL ESTATE**  
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 PLANNING SUBMITTAL

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 PLANNING SUBMITTAL

**SHEET TITLE**  
 SITE PLAN

**SHEET NO.**  
 A-101

**SHEET KEYNOTE LEGEND**

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**WINDEMERE REAL ESTATE**  
 REAL ESTATE OFFICE  
 PLANNING SUBMITTAL

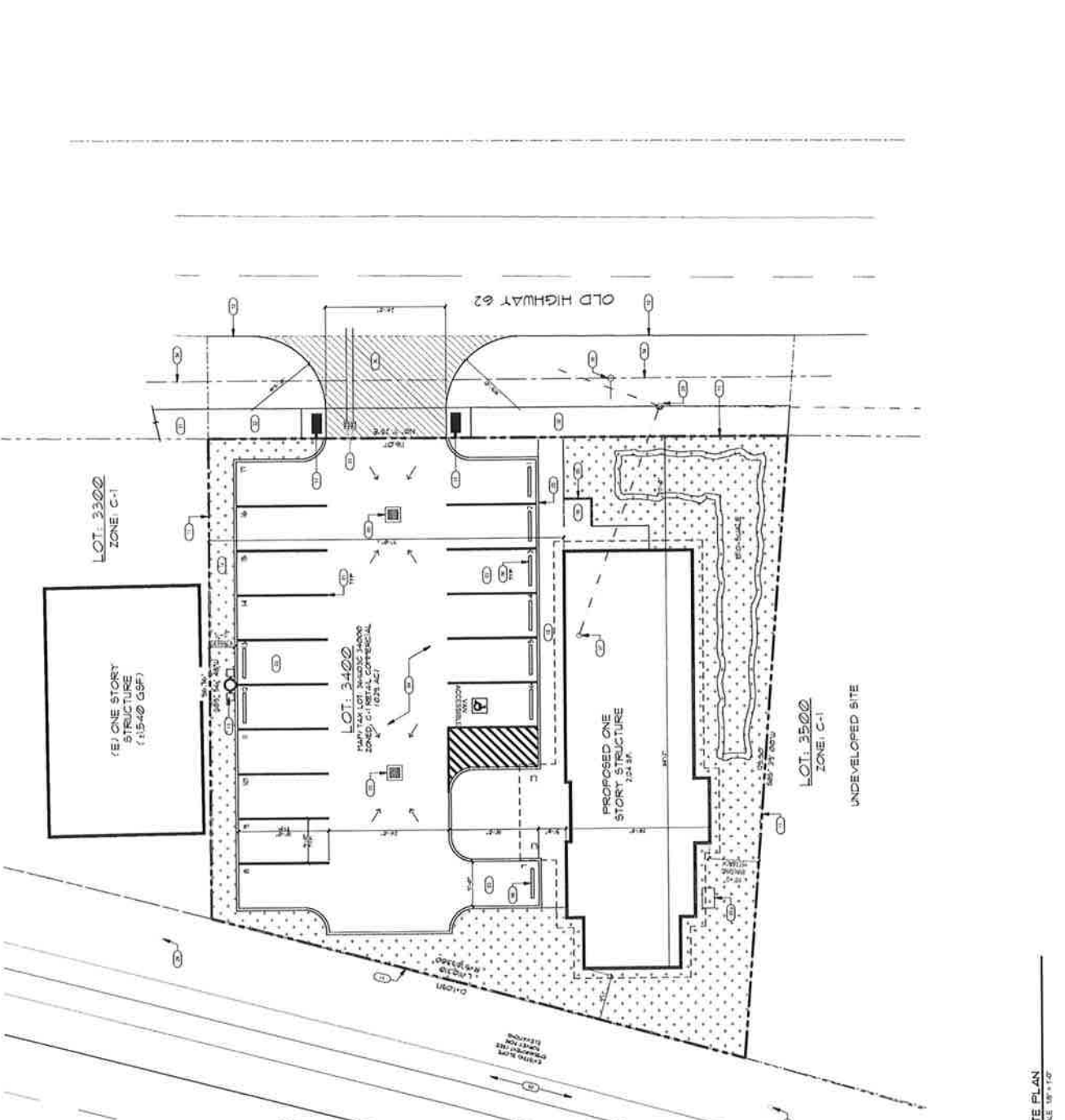
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 REAL ESTATE OFFICE  
 PLANNING SUBMITTAL

**WINDEMERE REAL ESTATE OFFICE**  
 PLANNING SUBMITTAL

**SHEET TITLE**  
 SITE PLAN

**SHEET NO.**  
 A-101



**North**  
 (A) SITE PLAN  
 SCALE 1/8" = 1'-0"

NOTE: IF THIS SHEET IS LESS THAN 30" x 42" IT HAS BEEN REDUCED AND IS NOT TO SCALE.

WINDMERE, ILL.

**JAMES**  
CONSTRUCTION MANAGEMENT  
1100 W. JACKSON ST. SUITE 200  
CHICAGO, IL 60604  
TEL: 312.467.1234  
WWW.JAMESCONSTRUCTION.COM

**PROJECT**  
WINDMERE REAL ESTATE  
ATTN: JOHN ZUPAN  
11716 JACKSON STREET  
CHICAGO, IL 60618  
TEL: 312.467.1234  
WWW.JAMESCONSTRUCTION.COM

**PROJECT ARCHITECT**  
THE WINDMERE GROUP  
1100 W. JACKSON ST. SUITE 200  
CHICAGO, IL 60604  
TEL: 312.467.1234  
WWW.WINDMERE.COM

**DATE**  
08/15/2017

**PROJECT NAME**  
WINDMERE REAL ESTATE

**PROJECT ADDRESS**  
11716 JACKSON STREET  
CHICAGO, IL 60618

**PROJECT NUMBER**  
WINDMERE REAL ESTATE

**PROJECT PHASE**  
WINDMERE REAL ESTATE

**PROJECT STATUS**  
WINDMERE REAL ESTATE

**PROJECT OWNER**  
WINDMERE REAL ESTATE

**PROJECT CONTACT**  
WINDMERE REAL ESTATE

**PROJECT DATE**  
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**PROJECT SCALE**  
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**PROJECT DRAWN BY**  
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**PROJECT CHECKED BY**  
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**PROJECT APPROVED BY**  
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**PROJECT APPROVED BY**  
WINDMERE REAL ESTATE

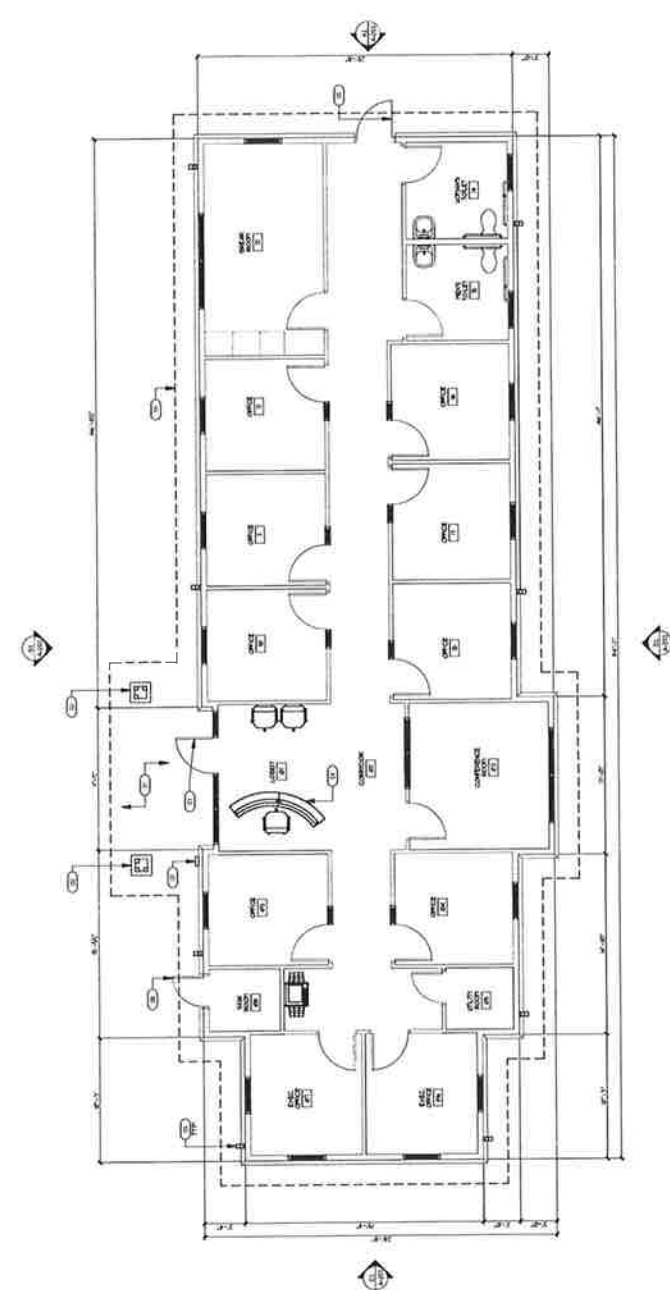
**PROJECT DATE**  
WINDMERE REAL ESTATE

**PROJECT SCALE**  
WINDMERE REAL ESTATE

**PROJECT DRAWN BY**  
WINDMERE REAL ESTATE

- SHEET KEYNOTE LEGEND**
- (S1) COVERED ENTRY
  - (S2) STAIRS AND COLUMNS IN STONE VESTIBULE
  - (S3) MAIN ENTRY STAIRWELL DOORS
  - (S4) RECEPTION CASE
  - (S5) 170' HT. ELEVATOR DOOR
  - (S6) 170' HT. ELEVATOR DOOR
  - (S7) 170' HT. ELEVATOR DOOR
  - (S8) 170' HT. ELEVATOR DOOR
  - (S9) 170' HT. ELEVATOR DOOR
  - (S10) 170' HT. ELEVATOR DOOR
  - (S11) 170' HT. ELEVATOR DOOR
  - (S12) 170' HT. ELEVATOR DOOR
  - (S13) 170' HT. ELEVATOR DOOR
  - (S14) 170' HT. ELEVATOR DOOR
  - (S15) 170' HT. ELEVATOR DOOR
  - (S16) 170' HT. ELEVATOR DOOR
  - (S17) 170' HT. ELEVATOR DOOR
  - (S18) 170' HT. ELEVATOR DOOR
  - (S19) 170' HT. ELEVATOR DOOR
  - (S20) 170' HT. ELEVATOR DOOR

EXHIBIT C



NORTH  
A FLOOR PLAN  
SCALE: 1/4" = 1'-0"

NOTE: IF THIS SHEET IS LESS THAN 30" x 42" IT HAS BEEN REDUCED AND IS NOT TO SCALE.

FLOOR PLAN

A-102

